



RAJ 
SAPPHIRE

2 & 3 BHK Lifestyle Apartments & Shops



Foundation of **Marked Attraction** for You

Give that extra added factor of glamour quotient in terms of spending life more gracefully & force you to appraise all new Raj Sapphire; the class apart residential & commercial venture of Raj Group.



COMPOUND WALL & ENTRANCE GATE

- Compound wall as per architectural design based on building theme
- Attractive entrance gate as well as covered security cabin

Creation of **Landmark Stature** for You

Motivate the spirit of learning while growing your little toddlers at such a perfect place for them to start their lives on a great note of understanding better life.



Children
Play Area



Senior
Citizen Area



Multipurpose
Hall



Jogging
Track



Meditation
Area





Structure of **Intellectual Elegance** for You



ENTRANCE FOYER

- Elegant entrance foyer with waiting Lounge & Biometric Entry



Elevation of **Fabulous Appearance** for You

Set an example to your kids for you have selected a masterpiece as their place to fill it with their beautiful laughter and cheering expressions that lasts forever.



ELEVATORS & POWER

- Auto elevators with elegant interiors from reputed brand
- DG backup for elevators, water pumps & lightings in common areas

Visualisation of Priceless Offering for You

Lifestyle will be one that you ever imagined with your eyes closed to gift it to your loved one with complete convenience and more fun into their lives.

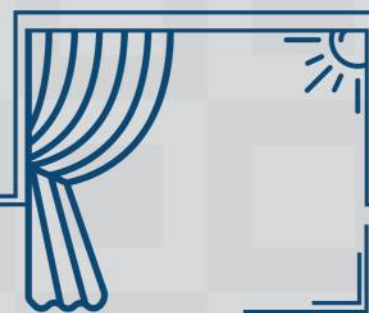


PARKING & ROADS

- Organized one allotted car parking per flat
- Cement concrete or paver road with speed breaker and safety signages



Recognition of
Comfortable Magnificence
for You



SPECIAL FEATURES

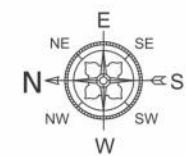
- Large size window for more natural light source and better air ventilation
- Spacious area planning that suits modern interior concepts



LEGENDS

- | | | |
|------------------------|-------------------------|-----------------------|
| 01) ENTRANCE GATE | 07) STORE | 13) SEATING |
| 02) SECURITY CABIN | 08) UTILITY | 14) SCULPTURE |
| 03) OTTA | 09) KITCHEN | 15) PARKING |
| 04) ENTRANCE FOYER | 10) SENIOR CITIZEN AREA | 16) SHOP PARKING |
| 05) CHILDREN PLAY AREA | 11) GREEN SPACE | 17) 2 WHEELER PARKING |
| 06) MULTIPURPOSE HALL | 12) METER ROOM | 18) JOGGING TRACK |

Ground & Typical Floor Plan



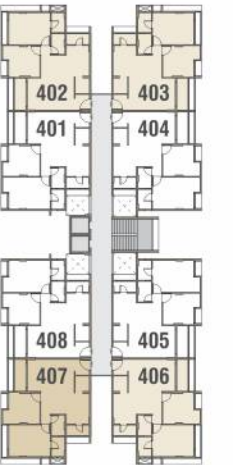
Ground floor plan



2 BHK

Unit floor plan

TYPE - 1
1144 Sq.Ft.

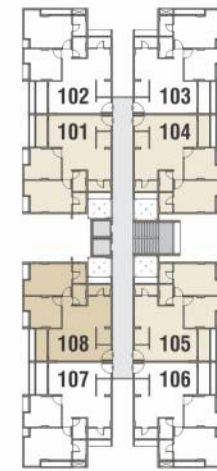


BLOCK-B
4th, 5th & 6th FLOOR

2 BHK

Unit floor plan

TYPE - 2
1155 Sq.Ft.

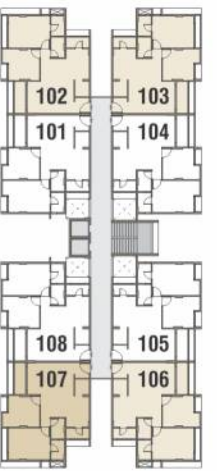
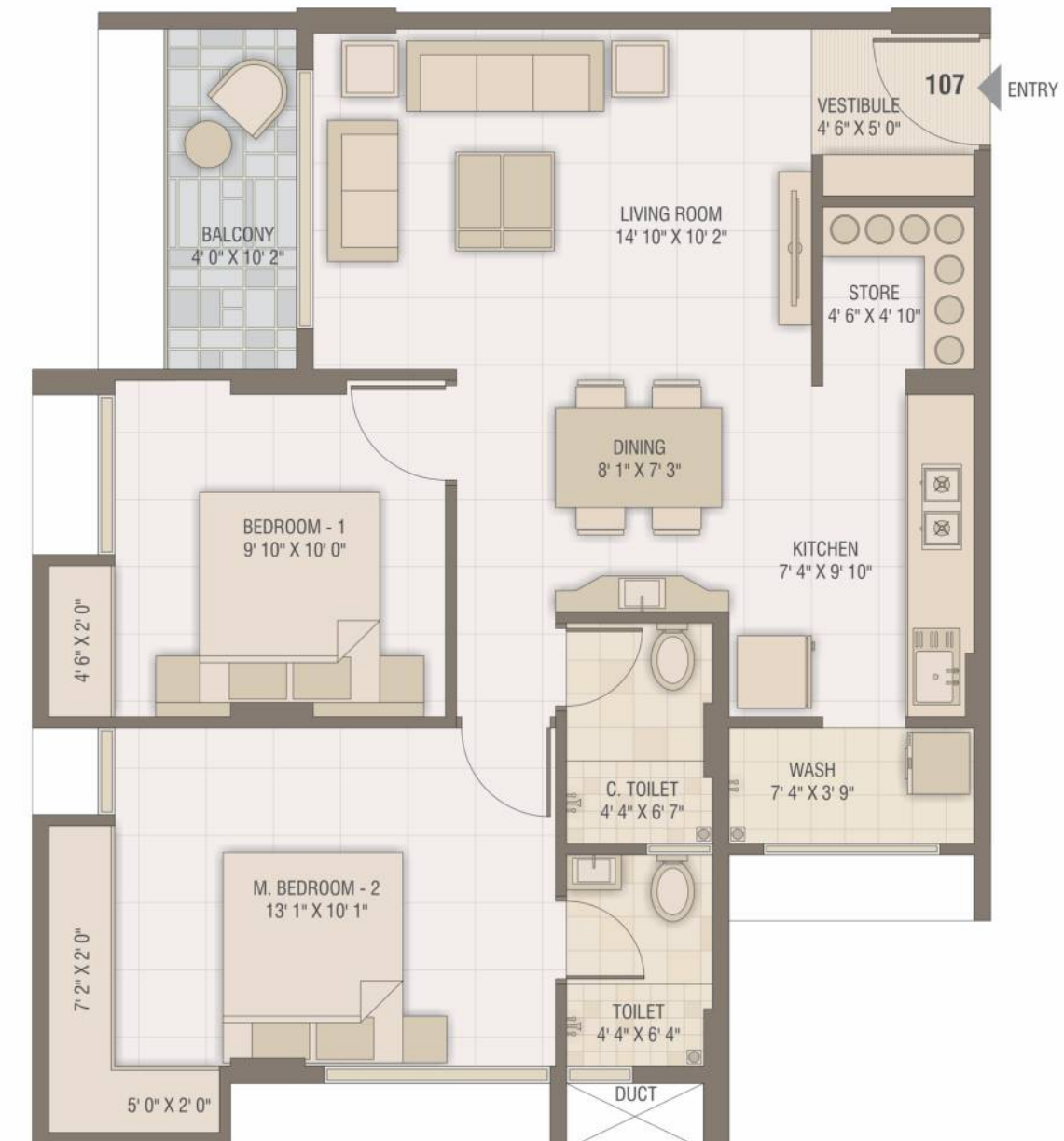


BLOCK-B
TYPICAL FLOOR

2 BHK

Unit floor plan

TYPE - 3
1177 Sq.Ft.



BLOCK-B
1st, 2nd, 3rd, 7th, 8th
& 9th FLOOR

2 BHK

Unit floor plan

TYPE - 4
1255 Sq.Ft.



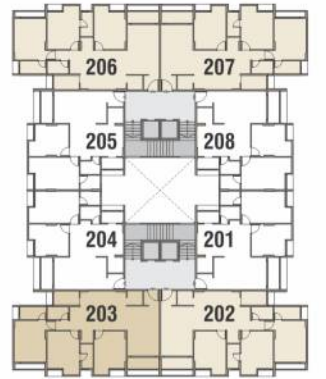
BLOCK-A
TYPICAL FLOOR



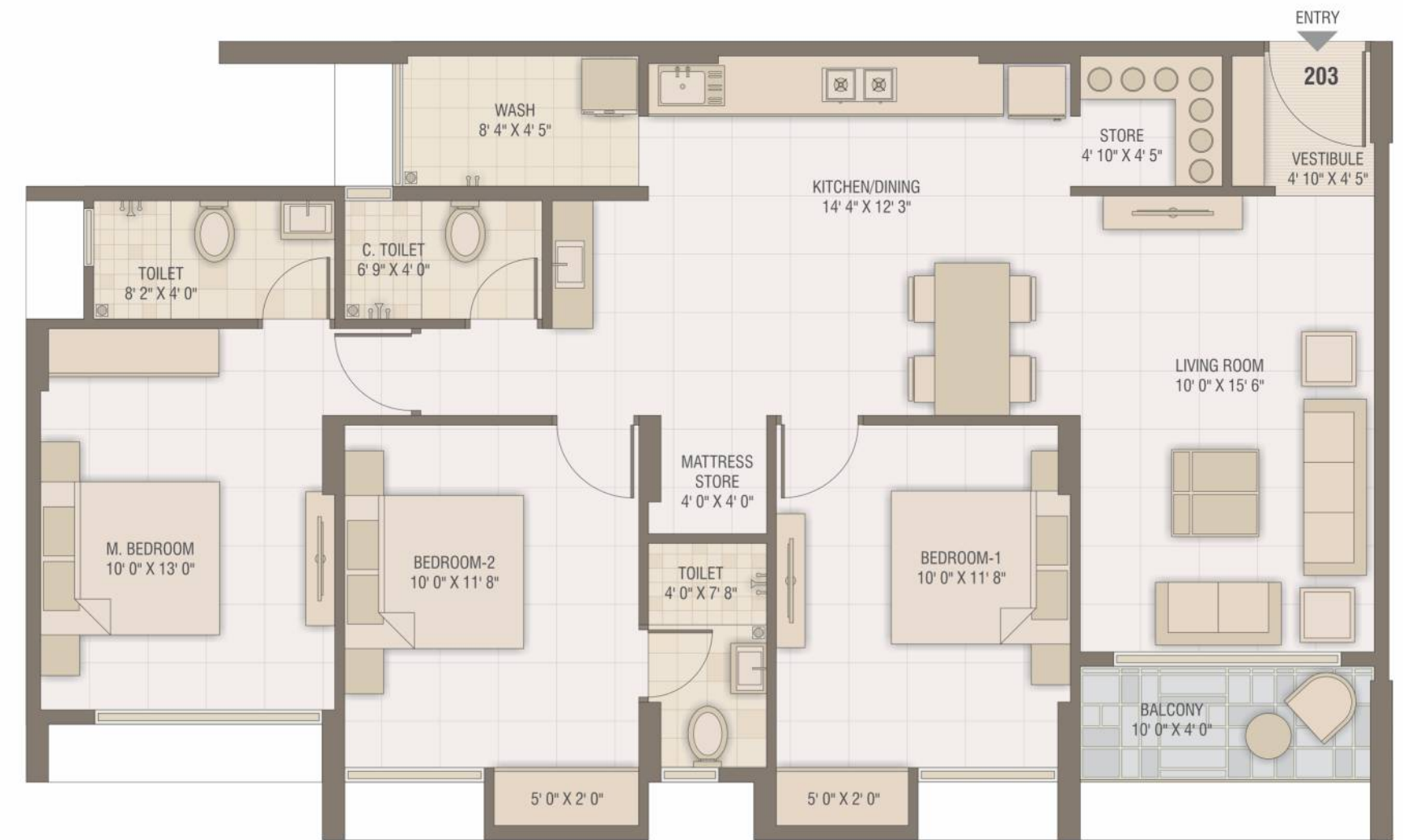
3 BHK

Unit floor plan

1600 Sq.Ft.



BLOCK-A
TYPICAL FLOOR



SPECIFICATIONS

STRUCTURE

- RCC framed structure with seismic zone 3 compliance

WALLS/PAINT

- External wall with double coat white sand-faced plaster with apex paint
- Internal walls gypsum plastered with single coat primer

FLOORING

- Designer vitrified tiles from Reputed brand in all rooms with side skirting (living, dining, kitchen & bedrooms)
- Anti-skid ceramic tiles in all bathrooms and balconies

TOILET/PLUMBING

- Western concept designer toilets with designer ceramic tiles dado up to lintel level
- Concealed plumbing & sanitary ware from reputed brand
- Centralize gas geyser point in wash area
- Washing machine inlet/outlet in wash area

KITCHEN

- Exclusive granite platform with stainless steel sink & designer glaze / ceramic tiles dado up to lintel level

WATER SUPPLY

- Over head & under Ground water tank
- Concealed lines with PVC / UPVC / CPC / PPRC pipe
- Energy efficient hydro pneumatic system for water supply
- Rain water harvesting system

DOORS

- Decorative main door
- All internal flush doors with laminate on both sides

WINDOWS

- Full size coloured anodized aluminium sliding windows with mosquito mesh & sandwich granite & marble sill

DOOR & WINDOW FRAMES

- Granite / Marble frames

ELECTRIFICATION

- Single phase light meter & concealed copper wiring with adequate number of electric points in all rooms
- Provision of T.V., Telephone & A.C. point in all rooms
- Provision of internet point in Living room
- Distribution board with MCBs for safety protection
- Modular switches & accessories from reputed brand

TERMITE TREATMENT

- Anti-termite treatment in all buildings

FIRE FIGHTING

- Fire fighting system as per regulation of urban local body

SECURITY SYSTEM

- Intercom system in both buildings
- CCTV surveillance at main gate & at foyers of buildings

Disclaimer

• Premium quality materials or equivalent branded products shall be used for all construction work • Stamp duty, registration charges, other-government taxes, GEB charges, service tax charges on allotment and possession of the property shall be borne by the purchaser • Any additional charges or duties levied by the govt / local authorised during or after the completion of the scheme will be borne by the purchaser • In the interest of continual development in design & quality of construction, the developer reserve all rights to make any change in the scheme including technical specifications, design, planning, layout and all the purchasers shall abide by the changes • Changes / alterations of any nature including the elevation, exterior colour scheme of the building any other changes affecting the over all design concept & outlook to the scheme are strictly not permitted during or after completion of the scheme • New rate will applicable in case of delay in payment terms. Terms & conditions will be as per separate agreement • This brochure is meant only for information, presentation & guidance purposes, it is not an authorized document or an agreement



**RAJ
SAPPHIRE**
2 & 3 BHK Lifestyle Apartments & Shops

Railway Station	2.7 Km.
National Highway 8	1.5 km.

Site Address : Raj Sapphire, Opp. St Xavier's English School, Koparali Road, Chharwada, Vapi - 396191

Our Completed Projects

RAJHANS

RAJMOTI 1

RAJMOTI 2

RAJPATH

RAJ
AVENUE

RAJ
RESIDENCY 1

RAJ
RESIDENCY 2

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Interior Design | Master Planning

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